

CATHARINE COURT LOT 39  
610.0 m

STORMWATER DISCHARGE TO STREET GUTTER  
WASTE DISCHARGE TO SEWER

SITE PLAN  
ROOF + DOWN PIPES LAYOUT  
SCALE 1 : 200

**GOLD COAST CITY COUNCIL**  
Plumbing & Drainage Services

NOTE: INSTALLATION REQUIREMENTS

- All underground water supply service pipes to be minimum 20mm to front and back hose cocks.
- Hose connection vacuum breakers shall be fitted to all external hose cocks.
- Low flow shower roses to be installed.
- 6/3 litre dual flush WC's to be installed.

APPROVED FOR SEPTIC-SEWERAGE

*[Signature]*

ALL CONSTRUCTION SHALL BE NOT LESS THAN AS PRESCRIBED IN THE BUILDING ACT and THE BUILDING CODE of AUSTRALIA and W33 T.R.A.D.A.C. MANUAL ( current ed. )

TIMBER LIST				
WALL FRAMING	SEAS. PINE			
TOP PLATE LOADBEARING	2/35 x 70 ( F8 )			
TOP PLATE NON-LOADBEARING	35 x 70 ( F5 )			
BOTTOM PLATE	35 x 70 ( F5 )			
STUDS LOADBEARING	70 x 35 ( F8 ) @ 450 CTS. FOR SPAN > 5.1m 70 x 35 ( F8 ) @ 300 CTS. FOR SPAN > 5.1m - 6.6m			
STUDS NON-LOADBEARING	70 x 35 ( F5 ) @ 450 CTS. 3000 MAX. HT.			
NOGGING	35 x 70 ( F5 ) STAGGERED			
JAMB STUDS	2 COMMON FOR OPENING > 1500 3 COMMON FOR OPENING > 2100 4 COMMON FOR OPENING > 3000			
ROOF FRAMING	ENGINEER DESIGNED ROOF TRUSSES @ 600 CTS. ( SEAS. PINE )			
ROOF BATTENS	25 x 50 ( F14 H.W. ) @ 330 CTS.			
LINTELS & BEAMS	( F7 ) OREGON , ( F27 ) SUPER-BEAM / STABELBEAM			
ROOF MATERIAL	CONC. TILE			
DIMENSION 'A'	3325			
TIE DOWN FIXINGS				
FIXING OF	TABLE No	UPLIFT FORCE	FIGURE No	METHOD OF FIXING
ROOF BATTEN TO TRUSS / RAFTER	8.10	0.17 kN	8.10 ( 1 )	1/65 x 2.8 $\phi$ NAIL
TRUSS / RAFTER TO TOP PLATE	8.7	NOM.	—	REFER CLAUSE 2.5 OF TRADAC MANUAL FOR NOMINAL FIXINGS
TOP & BOT. PLATE TO STUDS	8.7	NOM.	—	
BOT. PLATE TO SLAB	8.7	NOM.	—	
LINTELS TO STUDS	8.9	NOM.	—	

All building construction to comply with Local Authority By-laws and relevant provisions of the Queensland Builder to be responsible for water- and weatherproofing of the building and shall provide all necessary flashings, membranes and dampproof courses. All dimensions and levels to be verified on site by the builder and contractors prior to construction. COPYRIGHT: all drawings pertaining to this project. DO NOT SCALE DRAWING

**GOLD COAST CITY COUNCIL**  
Plumbing & Drainage Services

NOTE

STORMWATER DRAINAGE

ONE 100mm x 75mm DOWNPIPE PER 45m2 ROOF AREA

MAX 80m2 ROOF AREA PER 90mm DRAIN LINE

MAX SPACING OF DOWNPIPES 12m

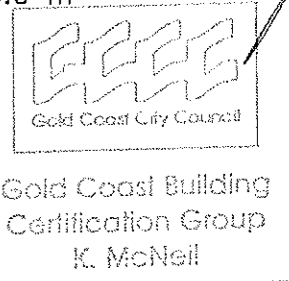
REFER G.C.C.C. STANDARDS

REAL PROPERTY DESCRIPTION

LOT 39 ON RP. 886103  
CATHARINE COURT  
LOCAL AUTHORITY : GOLD COAST  
LOCALITY: LABRADOR  
PARISH: BARROW  
COUNTY: WARD

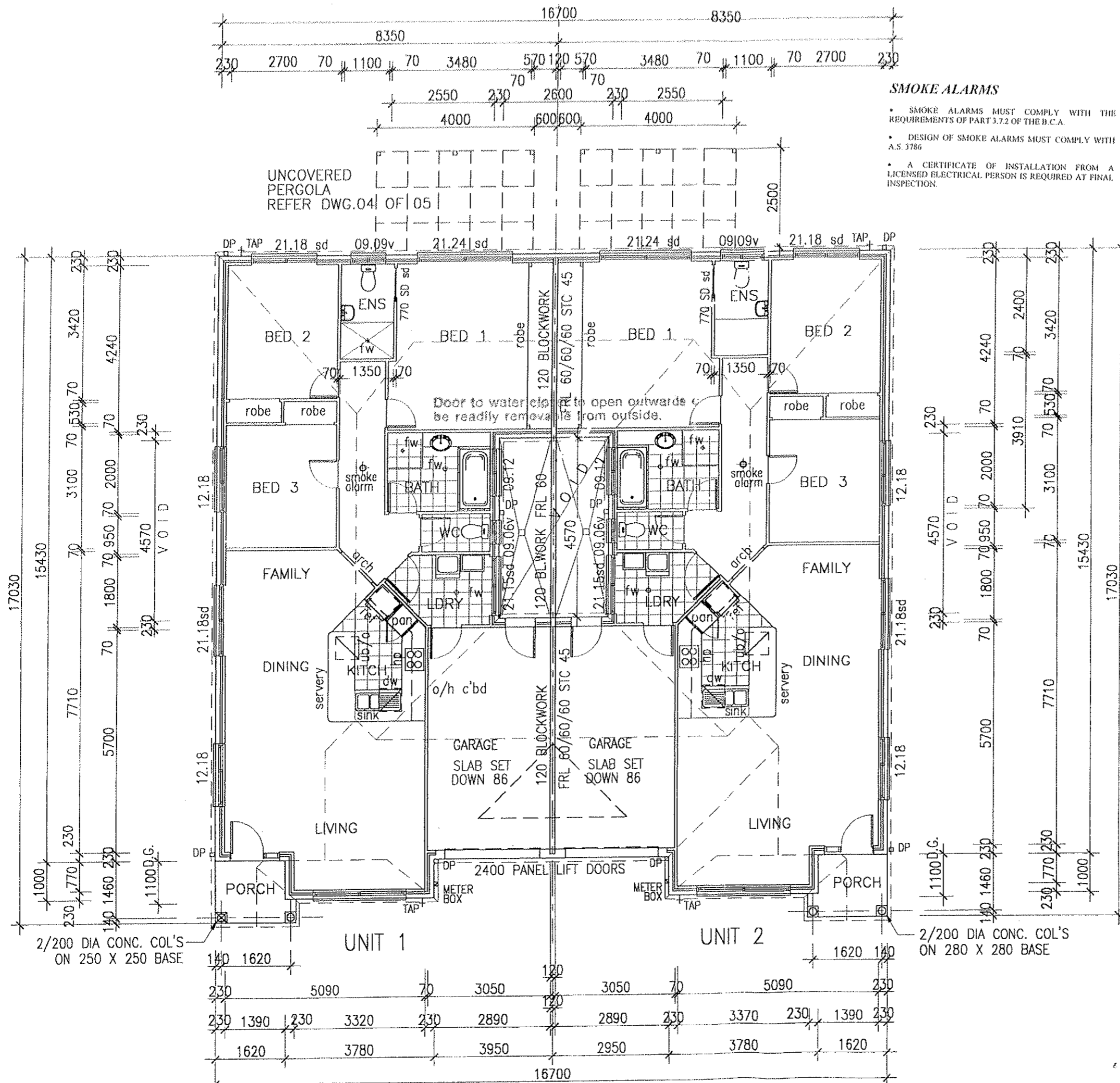
AREA:

DUPLEX BUILDING 257.0 m<sup>2</sup>  
SITE AREA 610.0 m<sup>2</sup>  
SITE COVERING 39.7 %



"NOT TO SCALE"

REV	DATE	DESCRIPTION
BUILDER JOVA & G. LUJIC		
PROJECT ADDRESS LOT 39 - CATHARINE COURT LABRADOR		
TITLE 2 NEW DUPLEX UNITS		
DATE: 07-12-1998		REV.:
TITLE: SITE PLAN + DETAILS		
DWG NUMBER: 01 OF 05 DRAWN; PT		



**SMOKE ALARMS**

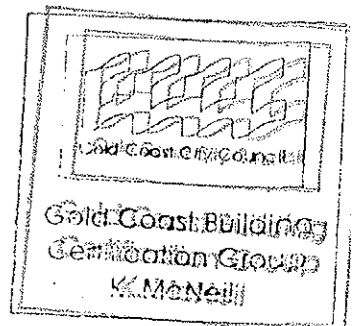
- SMOKE ALARMS MUST COMPLY WITH THE REQUIREMENTS OF PART 3.7.2 OF THE B.C.A.
- DESIGN OF SMOKE ALARMS MUST COMPLY WITH A.S. 3785
- A CERTIFICATE OF INSTALLATION FROM A LICENSED ELECTRICAL PERSON IS REQUIRED AT FINAL INSPECTION.

All building construction to comply with Local Authority By-laws and relevant provisions of the Queensland Building Act 1975-85. Builder to be responsible for water- and weatherproofing of the building and shall provide all necessary flashings, membranes and dampproof courses. All dimensions and levels to be verified on site by the builder and contractors prior to construction. COPYRIGHT: all drawings pertaining to this project. DO NOT SCALE DRAWING.

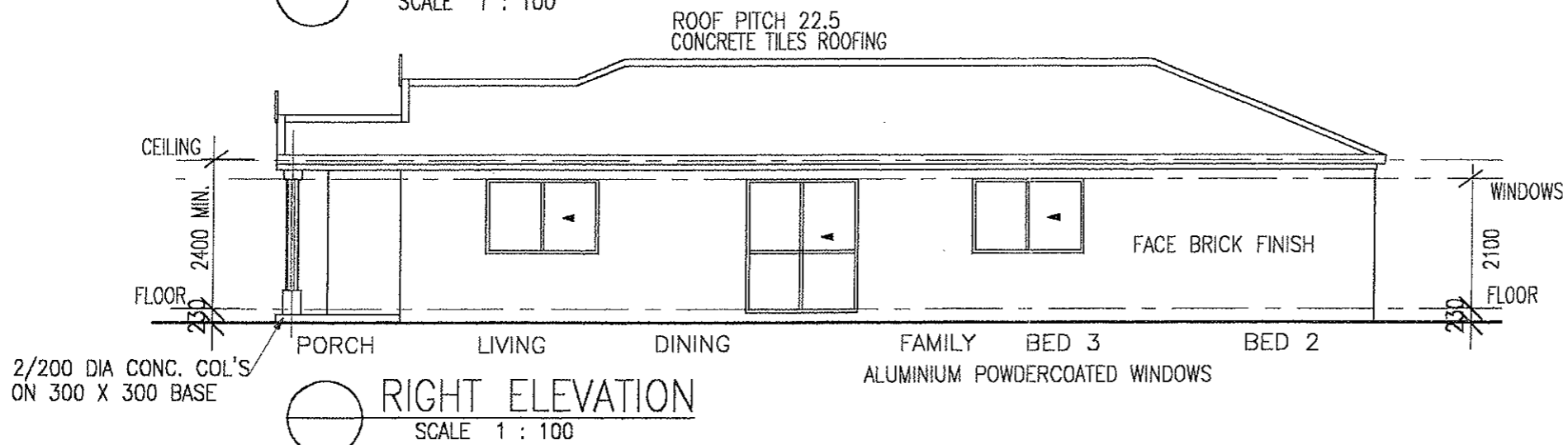
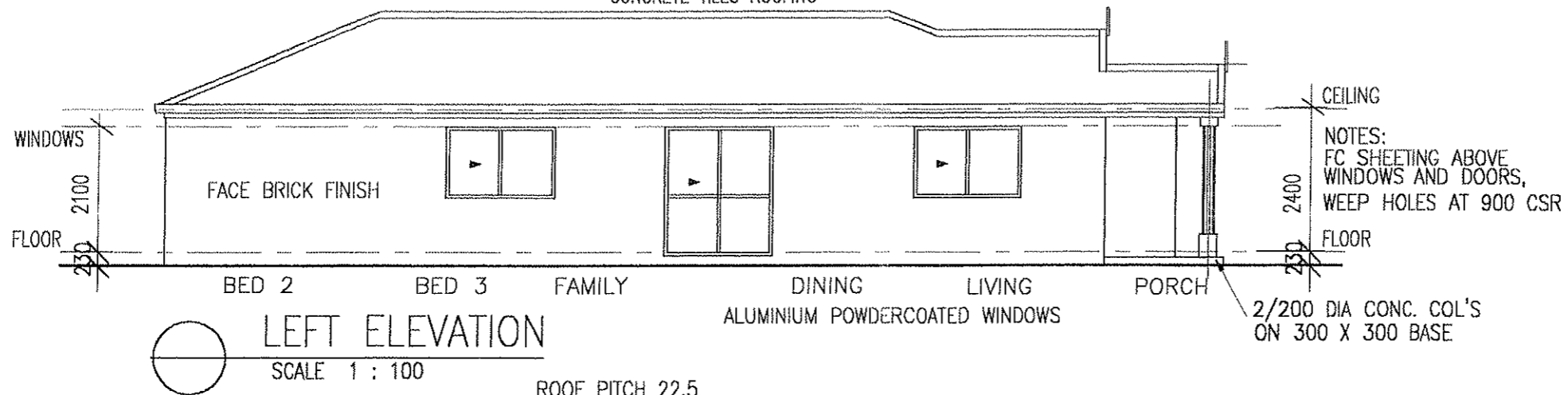
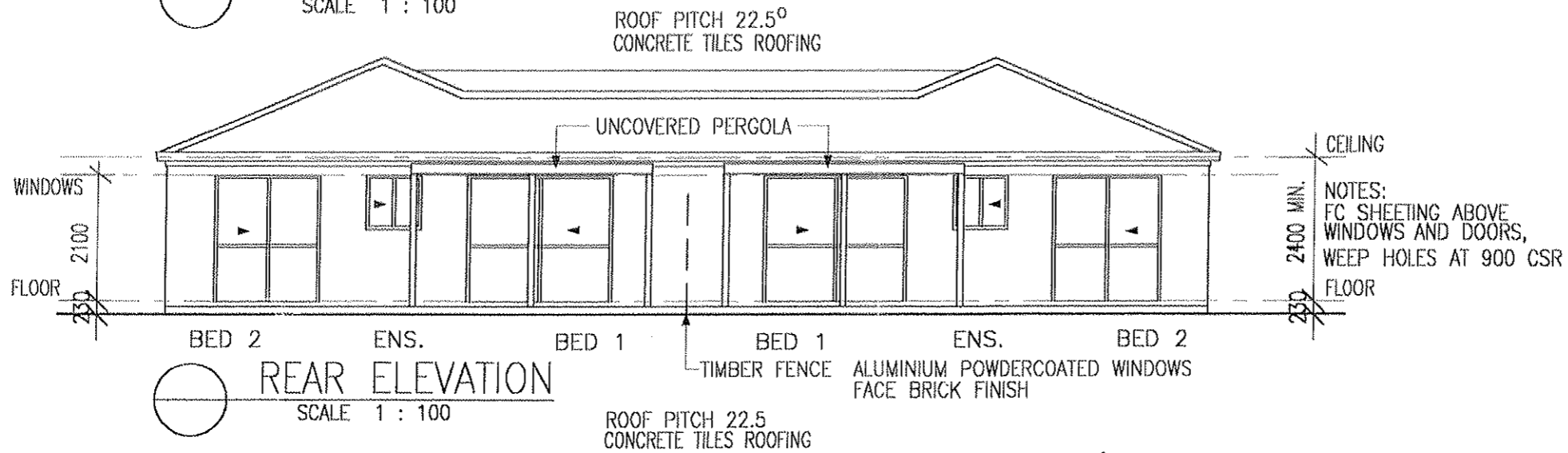
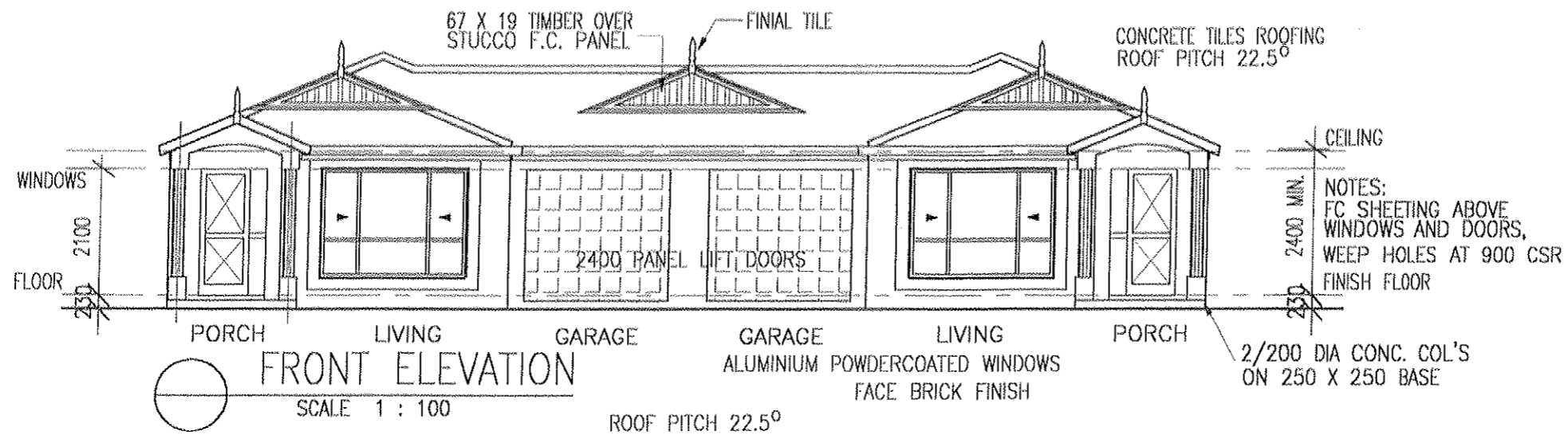
**SEPARATION WALL**  
 Separation wall to be S.T.C. 45/50 + impact (min), and a F.R.L. of 60/60/60 (min). The separation wall is to continue to under side of a non-combustible roof covering, or 450mm above a combustible roof covering. Pile plates to be bolted through solid blocks. Roof lights must be located not less than 900mm from a separation wall or allotment boundary. To maintain the integrity of the separation wall, a 60/60/60 dry wall system must be provided to the soffit void. Services located in the separation wall, are not to be positioned back to back, and are not to reduce the FRL and structural adequacy of the separation wall.

AREA: UNIT 1		AREA: UNIT 2	
LIVING	107.3m <sup>2</sup>	LIVING	107.3m <sup>2</sup>
GARAGE	18.2 m <sup>2</sup>	GARAGE	18.2 m <sup>2</sup>
PORCH	3.0 m <sup>2</sup>	PORCH	3.0 m <sup>2</sup>
<b>TOTAL</b>	<b>128.5m<sup>2</sup></b>	<b>TOTAL</b>	<b>128.5m<sup>2</sup></b>

"NOT TO SCALE"



REV	DATE	DESCRIPTION
BUILDER JOVA & G. LUJIC		
PROJECT ADDRESS LOT 39 - CATHERINE COURT LABRADOR		
TITLE 2 NEW DUPLEX UNITS		
DATE: 07-12-98		REV:
TITLE: FLOOR PLAN + DETAILS		
DWG NUMBER: 02 OF 05		DRAWN; PT



"NOT TO SCALE"



BUILDER JOVA & G. LUJIC
PROJECT ADDRESS LOT 39 - CATHERINE COURT LABRADOR
TITLE 2 NEW DUPLEX UNITS
DATE: 07-12-98 TITLE: ELEVATIONS DWG NUMBER: 03 OF 05 DRAWN; PT

30 X 0.8 GALV. STRAP  
3/28 NAILS EACH END.  
2/75 X 3.75 DIA GROOVED NAILS  
ROOF EDGES

1/75 X 3.15 DIA GROOVED NAIL  
GENERAL ROOF AREA

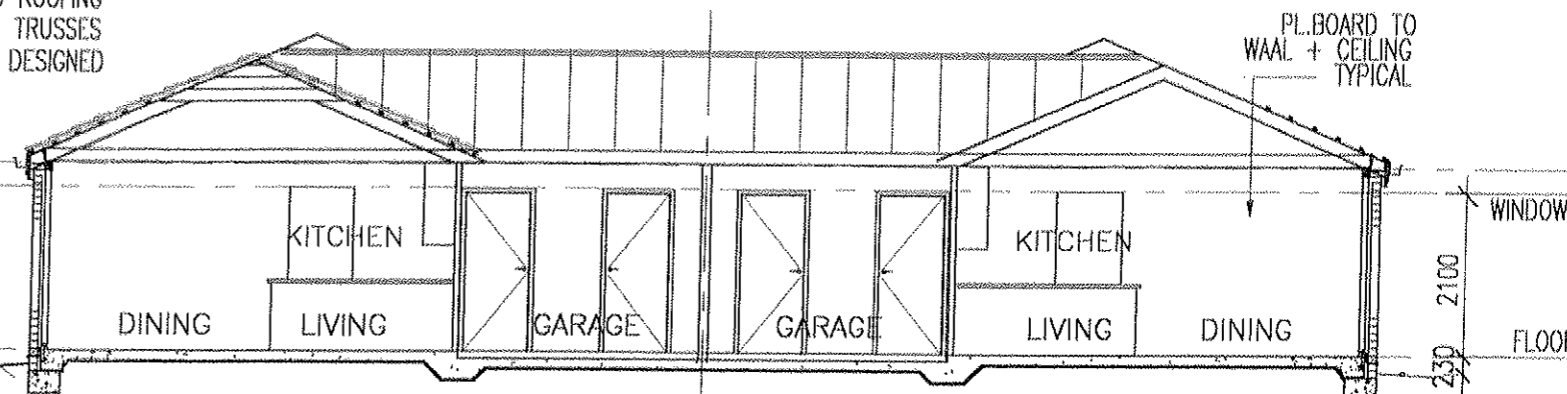
ROOF PITCH 22.5°  
CONCRETE TILES ROOFING  
@ 600 CRS. ON TIMBER TRUSSES  
MANUFACTURES DESIGNED

NOTES:  
FC SHEETING ABOVE  
WINDOWS AND DOORS,  
WEEP HOLES AT 900 CSR

CONC. SLAB + FOOTINGS TO ENG. DESIGN  
COMPACT SUB-GRADE IN ACCORDANCE  
WITH ENGINEERS SPECIFICATION.

0.2 mm POLYTHENE MEMBRANE UNDER SLAB  
TERMITE PROTECTION TO U/S WHOLE EXTEN-  
SION + 300 BEYOND SLAB PERIMETER IN  
ACCORDANCE WITH AS 3660-1993.

SECTION AA  
SCALE 1 : 100



STUDS FIXED TO PLATES  
WITH G.I. STRAPS  
(3NAILS EACH LEG AT 1200 CTS)

EXPANDING MASONRY ANCHORS  
OR NAILS AT 1200 CTS.

TIE-DOWN DETAILS  
SCALE 1 : 25

NGL. 225

250 X 50 FASCIA BOARD FIXED TO TRUSSES  
140 X 45 F7 RAFTERS

TRIPLE GRIP OR SIMILAR TO  
EACH RAFTER FIXED TO BEAM

140 X 45 F7 NOGGING @ 900 CRS

140 X 45 F7 RAFTERS  
TRIPLE GRIP OR SIMILAR TO  
EACH RAFTER FIXED TO FASCIA

EXISTING  
RESIDENCE

PAVING AS SELECTED

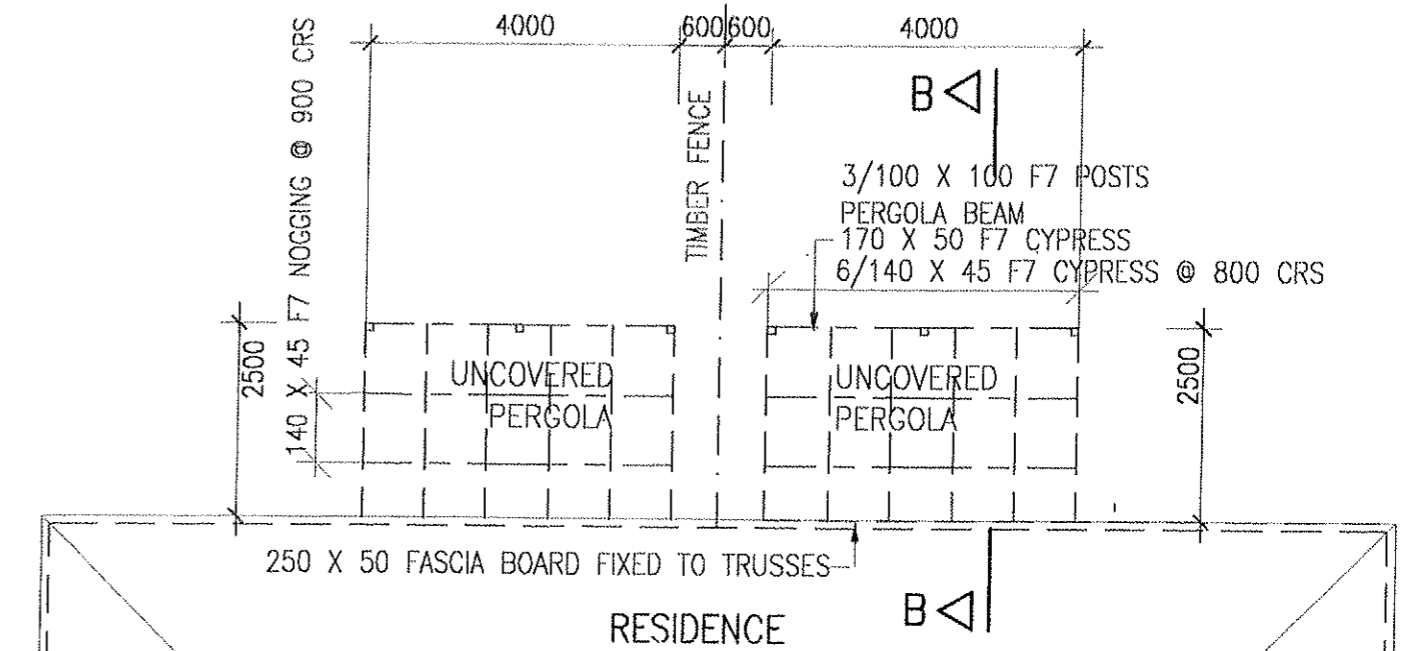
PERGOLA BEAM  
200 X 50 F7 CYPRESS  
CHECKED INTO POST AND  
FIXED WITH 2/M12 GALV. BOLTS

3/100 X 100 F7 POSTS

ALLOW FOR PAVING  
TO FINISH UNDER  
GALV. MS SHOE SET IN  
CONCRETE PAD FOOTING

CONCRETE FOOTING

SECTION BB  
SCALE 1 : 25



UNCOVERED PERGOLA PLAN  
SCALE 1 : 100  
"NOT TO SCALE"



BUILDER JOVA & G. LUJIC
PROJECT ADDRESS LOT 39 - CATHERINE COURT LABRADOR
TITLE 2 NEW DUPLEX UNITS
DATE: 07-12-98
TITLE: SECTION + DETAILS
DWG NUMBER: 04 OF 05 DRAWN; PT

QUEENSLAND  
**OFFICE OF STATE REVENUE**  
**ACKNOWLEDGEMENT OF APPLICATION FOR  
IMPRESSED STAMPING OF DOCUMENTS**

APPLICANT'S DETAILS (Please Print)

me: Cressey Lynch

address: Po Box 7926  
G.C.M.C 4217

Postcode: \_\_\_\_\_  
Your Ref: MEH/HSD/210/1

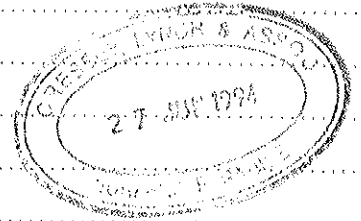
Lodgement  
Number

BRISBANE  
010 643 013-0

Number of Documents lodged

between: S+L Scherma Super Fund

and:



**Note:** It will be helpful to quote this lodgement number when making enquiries, paying Stamp Duty and collecting stamped documents.

With Compliments

plans for  
2/11 Catherine Court  
Labrador  
Ann. Sussem L.

Address all correspondence to:  
Chief Executive Officer  
PO Box 5042  
Gold Coast MC QLD 9729 AUSTRALIA



*City of Vision*

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